



DEVELOPMENT PERMIT/BUILDING PERMIT APPLICATION

PROJECT INFORMATION DEV PERMIT # BUILDING PERMIT #

New Alterations Addition Temp Structure Relocation Repair Demo

Civic Address of Development: _____

Legal Description: Lot: _____ Block: _____ Plan: _____ Subdivision: _____

Estimated Value of Construction: \$ _____

Project Description: _____

Dwelling Basement Development Deck Garage Other: _____

APPLICANT INFORMATION

Applicant name and/or Company Name: _____

Mailing Address: _____ City: _____ Postal Code: _____

Phone: _____ Cell: _____ Fax: _____

Email: _____

OWNER INFORMATION (same as applicant)

Applicant name and/or Company Name: _____

Mailing Address: _____ City: _____ Postal Code: _____

Phone: _____ Cell: _____ Fax: _____

Email: _____

CONTRACTOR INFORMATION (same as applicant)

Applicant name and/or Company Name: _____

Mailing Address: _____ City: _____ Postal Code: _____

Phone: _____ Cell: _____ Fax: _____

Email: _____

ENGINEER/ARCHITECT INFORMATION: NAME: _____ **PHONE:** _____

APPLICATION INFORMATION

Applications will not be processed if Site Plan is not attached (unless interior work only)

Site Plan attached? Yes No

Residential: Two sets of drawings must be attached Yes No

Commercial/Industrial: Three sets of drawings or two sets plus electronic copy Yes No

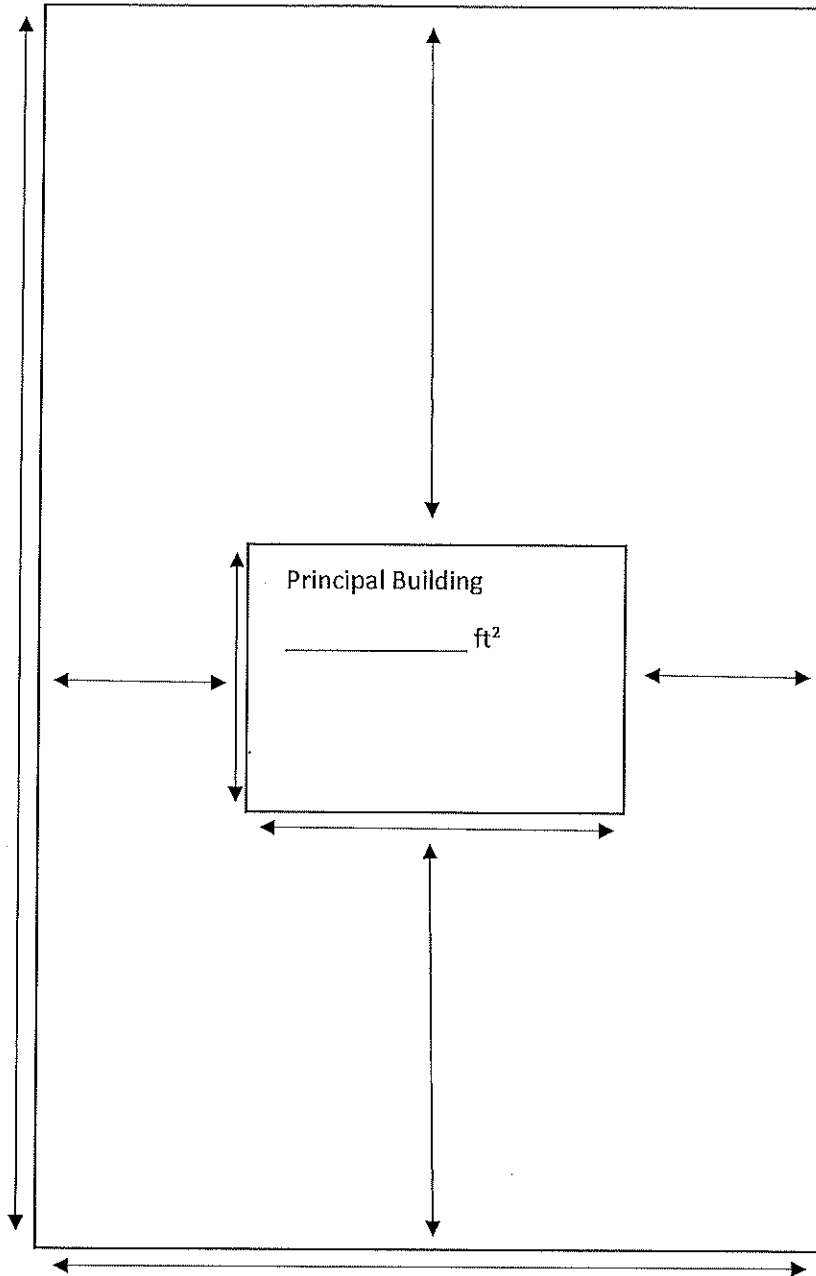
Important: Please read and sign Disclaimer below:

*I hereby agree to comply with Building Bylaw 5524 and Zoning Bylaw 5346 of the City of Moose Jaw and acknowledge that it is my responsibility to ensure compliance with these and any other applicable bylaws, provincial acts and regulations regardless of any plan review or inspections that may or may not be carried out by the City of Moose Jaw or its authorized representative. *I hereby declare that I am the property owner, or an authorized agent of the property owner. *I acknowledge that submitting this application does not constitute a permit approval. I further understand that it is an offence under City Bylaws to start construction or change the use of a building/property without an approved development/building permit.

Applicant Signature: _____ **Date:** _____

Return to: City of Moose Jaw, Planning & Development Services, 3rd Floor, 228 Main Street North, Moose Jaw, S6H 3J8
Phone: (306) 694-4443 Fax: (306) 691-0292 Website: www.moosejaw.ca

SITE PLAN: Provide all required dimensions of existing and proposed buildings and structures, including distance from property lines and lot size



Front Street Name: _____

FOR OFFICE USE:

Total Site Area: _____

Max Site Coverage = _____

Total Site Coverage: _____

Rear Yard Area: _____

X 35% = _____

Area of detached Accessory Buildings: _____

FOR OFFICE USE:

Occupancy Group: _____ Zone: _____ Tax Roll #: _____

Development Approval: _____ Date Signed: _____

Building Official Approval: _____ Date Signed: _____

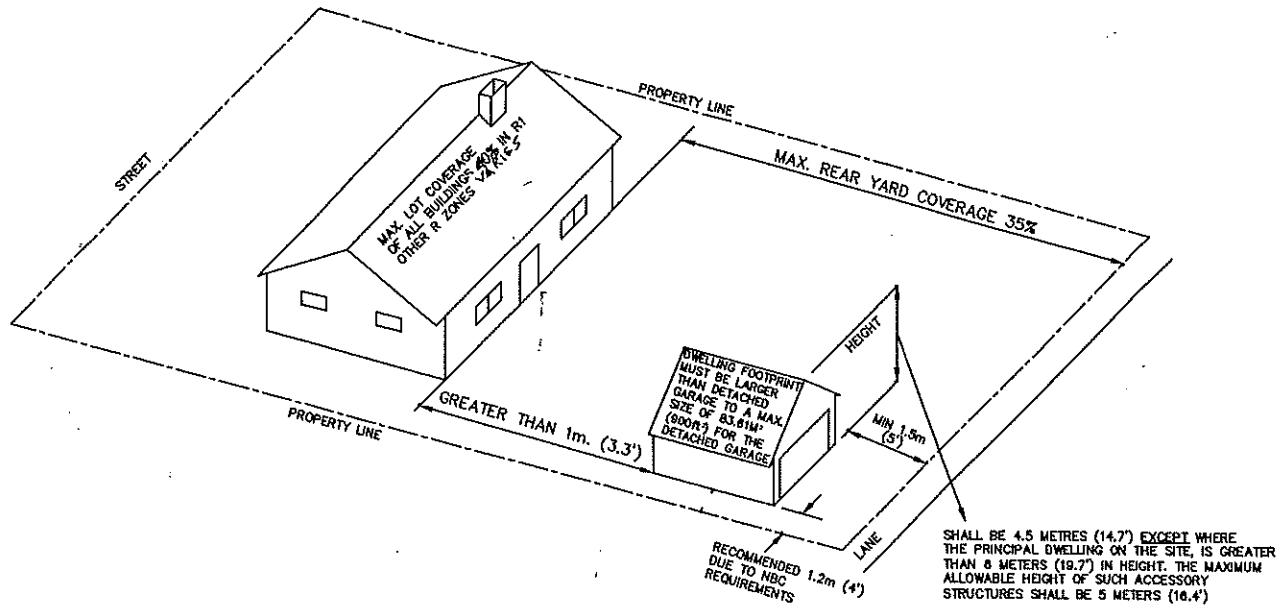
ZONING BYLAW SETBACKS FOR PRIVATE GARAGES AND ACCESSORY BUILDINGS

One storey accessory buildings such as a Private Garage, Carport, Shed or similar structure may be erected upon a required rear yard provided the following conditions, as indicated in Sections 4.2.1a-h of Zoning Bylaw No. 5346, are met:

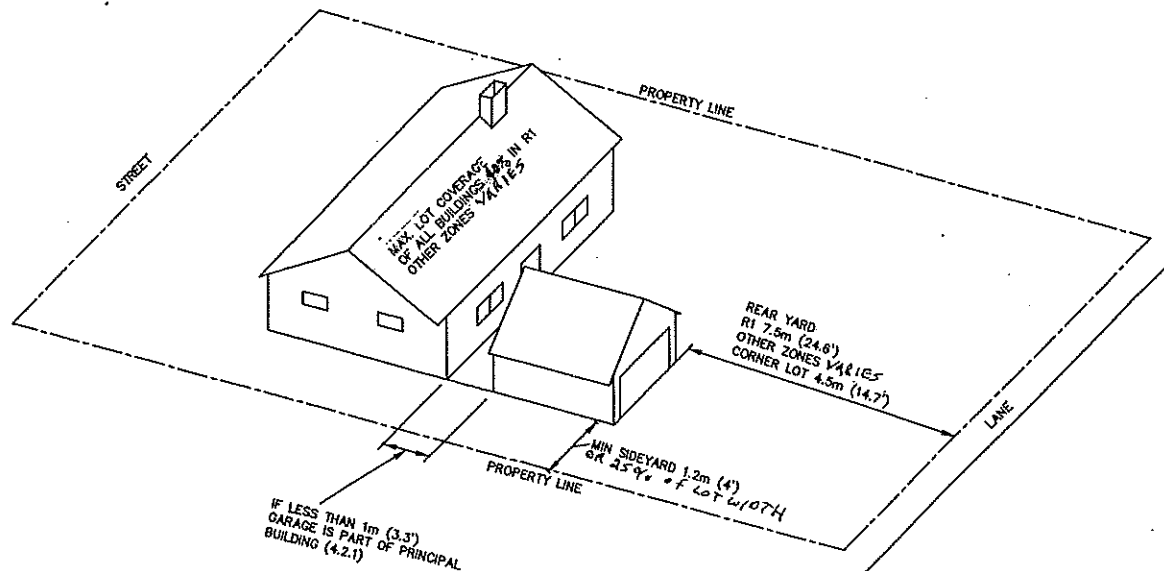
- 4.2.1.a Where a structure in the rear yard is attached to the principal building on a site by a roof, or is detached or separated from the principal building by less than **1 metre (3.3 feet)** it shall be part of the principal building and shall not be considered an accessory building; such structure shall be subject to regulations including yard setback requirements as the principal building.
- 4.2.1.b **No** detached Garage, Carport, Shed, etc., or any such combination shall:
- have a combined floor area **greater than the total floor area of the principle dwelling** (not including attached garage or porch),
 - have a combined floor area greater than **83.61 m² (900 ft²)**
 - or cover more than **35% of the rear yard.**
- 4.2.1.b No Garage, Carport, or similar accessory structure or any such combination shall have a combined floor area exceeding 150 metres² (1614 ft²) within any R.5 and R7 Residential District.
- 4.2.1.c The maximum height of any Garage, Carport, or similar accessory structure within any Residential Zone, except R.5 and R7 Residential District shall be **4.5 metres (14.76 feet)** from grade to peak **except** where the principal dwelling, on the site, is greater than 6 metres (19.68 feet) in height, the maximum allowable height of such accessory structures shall be **5 metres (16.4 feet)** from grade to peak.
- 4.2.1.d Notwithstanding Section 4.2.1.c the maximum building height of any Garage, Carport, or similar accessory structure within any R.5 and R7 Residential District shall be 5.5 metres (18.04 feet) from grade to peak.
- 4.2.1.f No Garage, Carport or similar accessory structure shall be more than **one storey** in height above grade within any district except for R5 and R7 Residential Districts.
- 4.2.1.g No entrance or exit door for a motor vehicle which is situated parallel to a rear yard or a side yard boundary line or lane shall be closer than **1.5 metres (5.0 feet)** to such rear yard or side yard boundary.
- 4.2.1.h Fabric covered accessory structures in any District shall be constructed in compliance with the requirements of the applicable Building & Fire Codes.
- A Driveway Crossing Permit is required for any alteration to City curb. Please contact the Public Works Department to obtain Driveway Crossing Regulations.
 - No part of a Garage, Carport or similar accessory structure shall be erected on an easement which is registered against the property.
 - In any case, no part of a Garage, Carport or accessory structure shall overhang any lane, street, sidewalk, easement or public place. It is the owner's responsibility to check the property title and investigate any easements or other legal or physical restrictions on the property.
 - **NOTE: Foundation designs may be required to be stamped by a Professional Engineer in some circumstances – see following pages for more information.**
 - Please contact your local Sask Energy Corporation Gas Office to ensure that any new construction will not be located over existing natural gas lines as this practice is prohibited.
 - Contact your cable and telephone and power companies to ensure utility lines are located and any relevant regulations are followed.

RESIDENTIAL ZONE

REGULATIONS FOR DETACHED ACCESSORY BUILDINGS



REGULATIONS FOR ATTACHED ACCESSORY BUILDINGS



City of Moose Jaw

RESIDENTIAL DETACHED (GARAGE OR ACCESSORY) BUILDING FORM

NOTE: The information indicated on this sheet is the minimum that is required for a residential detached accessory building permit application. This form may be used in lieu of providing a detailed package of drawings provided the building is a typical single storey residential detached accessory building, such as a storage garage or an accessory building. As a minimum, you must completely fill out this form and attach it to the Building Permit Application Form.

EXAMPLE ROOF

25 year 3-tab asphalt shingles
 7/16" exterior grade OSB sheathing with "H" clips
 Pre-engineered trusses at 24" on center
 Insulation (required if heated)
 6 mil CGSB poly vapour barrier (required if heated)
 1/2" gypsum wallboard
Note: Specify width of overhang

YOUR ROOF (mark "same" if same construction)

EXAMPLE WALL

Exterior finish (i.e., stucco or vinyl siding)
 60 minute building paper
 3/8" exterior grade OSB sheathing
 2 x 6 SPF No. 2 studs at 24" on center
 Single bottom plate and double top plates
 1/2" diameter anchor bolts at 4' o.c.
 Insulation (required if heated)
 6 mil CGSB poly vapour barrier (required if heated)
 1/2" gypsum wallboard (covered with layer of OSB)
Note: Specify garage door width(s)
Note: Specify lintel size(s) and # of members
Note: Specify walk-in door size(s) (min. 1 required)
Note: Specify overall height from grade to peak
Note: Specify overall height of wall

YOUR WALLS (mark "same" if same construction)

(PLEASE NOTE THAT IF YOUR BUILDING IS LOCATED LESS THAN 1.2m (4') FROM THE PROPERTY LINE, PLEASE SEE THE SIDE YARD SETBACK ATTACHMENT WITH NATIONAL CODE REQUIREMENTS ADOPTED AS OF MAY 1, 2013)

EXAMPLE FOUNDATION

6" Compacted granular fill under slab
 6 mil CGSB poly soil gas barrier
 4" Concrete slab with **either a, b or c below**

YOUR FOUNDATION (mark "same" if same construction)

NOTE THAT AN EXCEPTION IS BEING PROVIDED IN HARMONY WITH ARTICLE 9.35.3.3 FOR FOUNDATION OPTIONS a) & b) FOR BUILDINGS THAT ARE LESS THAN 55m² (592ft²) IN AREA (i.e. 24'-4" x 24'-4" OR 30' x 19'-9", OR SOME VARIATION THEREOF)

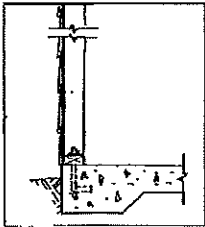
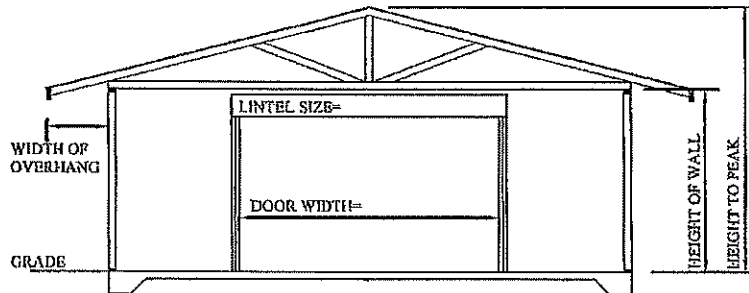
City of Moose Jaw

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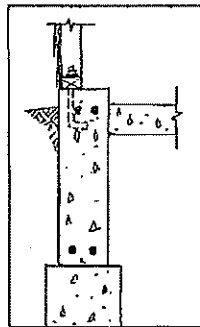
a) **Thickened edge concrete slab** (Provide: Thickened Edge depth, Thickened Edge width AND reinforcing steel details) **NOTE THAT THIS OPTION WILL REQUIRE A P.ENG. STAMP IF LARGER THAN 55m² IN BUILDING AREA).**

b) **Concrete piles and grade beam** (Provide: Pile diameter, Pile length, Pile centre-to-center spacing, Pile reinforcement steel, Grade Beam width, Grade Beam height, Grade Beam reinforcement steel AND void form details) **NOTE THAT THIS OPTION WILL REQUIRE A P.ENG. STAMP IF LARGER THAN 55m² IN BUILDING AREA):**

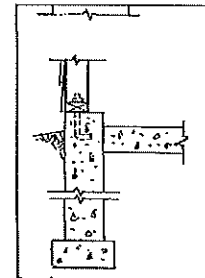
c) **Concrete strip footing & concrete pony wall** (Provide Footing thickness, Footing width, Wall thickness, Wall height & reinforcing steel details):



a) THICKENED EDGE SLAB



b) PILES & GRADE BEAM

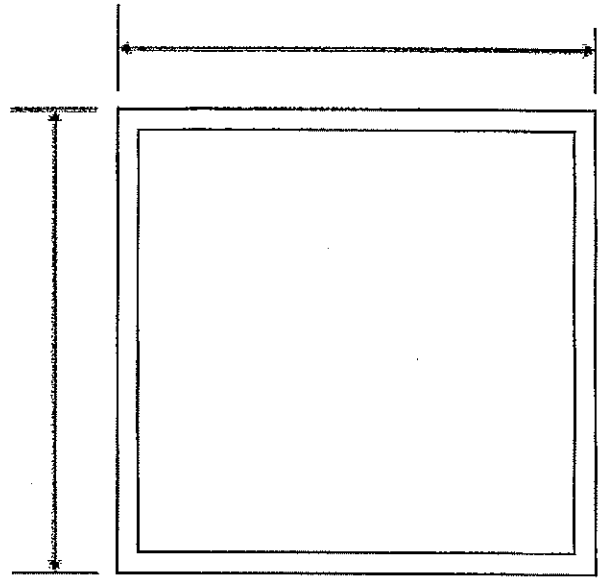
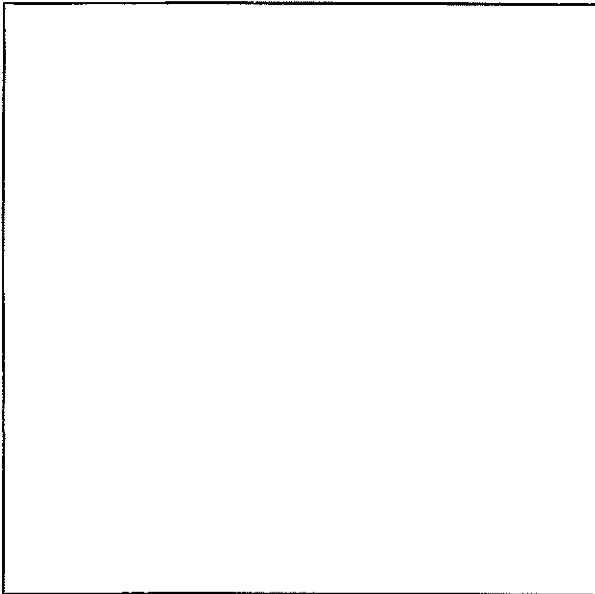


c) STRIP FOOTING & PONY WALL

City of Moose Jaw

RESIDENTIAL DETACHED (GARAGE OR ACCESSORY) BUILDING FORM

NOTE: This portion may be completed if your accessory building is a typical accessory building resembling these drawings. If the building does not resemble these drawings, please submit detailed scaleable drawings. Please indicate all dimensions on the drawings.



Plot Plan (CHECK OFF BOXES WHEN DONE)

- Provide a sketch of all existing and this proposed building on your lot.
- Show distances between all buildings and to property lines.
- Provide a north arrow and location of streets and alleys.

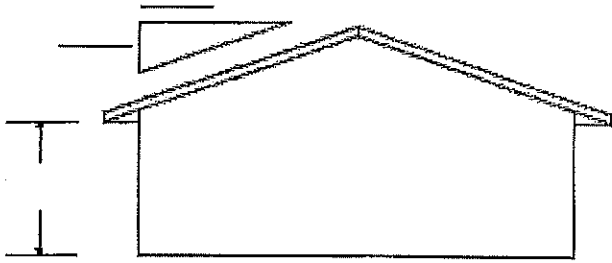
Floor Plan (CHECK OFF BOXES WHEN DONE)

- Provide outside dimensions of building.
- Show all door and window locations.
- Show orientation of trusses.
- Show any interior partitioning, together with a description of the rooms.

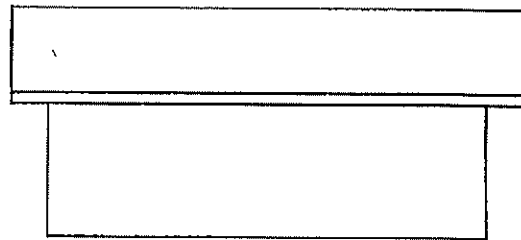
City of Moose Jaw

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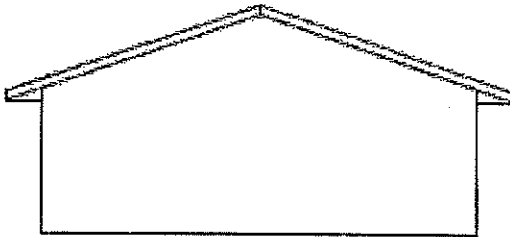
NOTE: This portion may be completed if your accessory building is a typical accessory building resembling these drawings. If the building does not resemble these drawings, please submit detailed scaleable drawings. Please indicate all dimensions on the drawings.



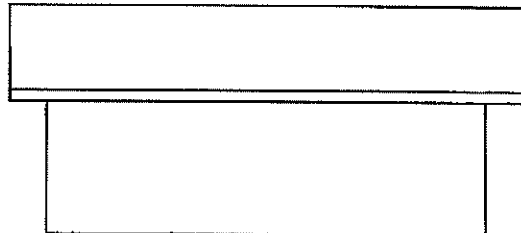
_____ Elevation



_____ Elevation



_____ Elevation



_____ Elevation

Please complete the following information on the above elevation drawings (CHECK OFF BOXES WHEN DONE)

- Label each elevation (i.e. North, South, East, West)
- Show all door and window locations and sizes on all elevations
- Indicate slope of roof (i.e. 1 in 3)